



DRAFT

FEASIBILITY STUDY & INVESTIGATION

OWNER:

The Roudenbush Community Center
Town of Westford
65 Main Street
Westford, MA 01886

PROJECT:

Feasibility Study for Exterior Physical
Needs of Roudenbush Community
Center

MATCHING GRANT:

National Trust Foundation

ARCHITECT:

LPBA/ ARCHITECTS, INC.

REPRESENTATIVE:

Ms. Roberta Chaffee Low
Executive Director
Roudenbush Community Center

Roudenbush Community Center

Architecture
Planning
Interiors
Constructions
Management

28 Penniman Road
Boston
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LPBA/ Architects, Inc.

May 15, 2002

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for Restoration and Preservation of the Roudenbush Community Center
Westford, MA

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Ronald John Alex, AIA
Principal

Barbara Thornton, MCP, MBA
Senior Planner

Francesco Garofalo, AIA
Principal

May 14, 2002

Ms. Roberta Chaffee Low, Director
Roudenbush Community Center, Inc.
65 Main Street
Westford, MA 01886

Re: Architectural Services for Feasibility Study & Investigation for
Restoration and Preservation of the Roudenbush Community Center

Dear Roberta,

Thank you for the opportunity to have LPBA/Architects prepare the feasibility study for the above referenced project. We are pleased to work with you and Roudenbush Community Center Committee to assist in the development of feasibility study for the restoration and preservation of the Roudenbush Community Center.

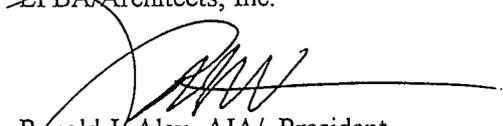
Our major goal has been to better understand your development program and identifying the physical needs of the building for stabilization and preservation of the building's character. We have used the U.S. Department of Interior's guidelines for technical preservation and fundamental building restoration practices published by the National Trust for Historic Preservation.

LPBA has recently observed the existing conditions at the building. We have compiled list of recommendations for the Roudenbush Center to follow and use as guidelines for stabilizing and preserving the Roudenbush Center building exterior.

We have identified certain key components of the building envelope, which are in need of replacement. This list can be useful to the Committee for organizing repairs and replacement, targeting costs to achieve these goals, tempered by creative budget controlled solutions, are helpful in meeting your long term building goals and financial objectives.

LPBA welcomes the opportunity to work with you through this process and any questions you may have regarding this study. We look forward to working with you and the Committee to address any of your concerns.

Sincerely,
LPBA/Architects, Inc.


Ronald J. Alex, AIA/ President

*Roudenbush Community Center
Feasibility Study & Investigation*

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FEASIBILITY STUDY & INVESTIGATION

Roudenbush Community Center
Westford, MA

ROUDENBUSH COMMUNITY CENTER
FEASIBILITY STUDY AND INVESTIGATION

Restoration and Preservation

Scope of Work

A. Prepare a comprehensive report that reflects the current status of the building and needs to include:

1. Review all related plans and drawings, and understand current programs and available reports.
2. Renovation costs for the building exterior 's useful life for multiple numbers of years.
3. Review the exterior for possible code violations, and handicapped accessibility into the building.
4. Inspection of all physical conditions of the building.

Special attention will be given to review of existing conditions, with corresponding attention to relevant State Building Code issues such as sufficient egress, panic hardware, thermal envelope (roof and wall resistance/ U values), and remaining building life. Fire prevention systems, air quality issues, space reconfiguration are excluded. State and Federal ADA handicapped accessibility regulations are included in the scope.

Additionally, LPBA will review the possibility or /feasibility of obtaining State reimbursement through future Massachusetts Historical Commission Grants for any recommendations made in the survey, and will be included in the report.

Based on the age and condition of the building, the RCC building a **full scope** assessment is outlined below.

I. Building Assessment

- 1.0 Initial review of building envelope including existing document review and interviews with appropriate RCC personnel to understand first hand, their assessment of needs and condition of the building.
- 1.1 Evaluate building and site for compliance with State Building codes and ADA requirements. This review will include exterior as well as interior spaces, doors and windows.
- 1.2 Structural review of exposed materials.

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II. Photographic Investigation

- 1.0 Initial review of building envelope including existing document review and interviews with appropriate RCC personnel to understand first hand, their assessment of needs and condition of the building.

Note: Destructive testing to assess the physical condition of building systems, not performed, nor lead paint testing. Asbestos (ACM) review to determine if environmental hazards are present or to bring the RCC system into current federal compliance, not performed. Cost estimates of abating any environmental hazards, not included.

III. Cost Estimate

- 1.0 See Attached LPBA Architects Cost Estimate for Building Envelope- Exterior

IV. Recommendations:

- a. The Committee should take appropriate action to obtain the missing architectural elevation drawings of the building supplementing the missing original measured architectural drawings.
- b. LPBA recommends significant work commence on preservation on and stabilization of the exterior elevations of the building.
- c. The Committee should consider upgrading handicapped accessibility of the exterior entrances and interior corridors, offices, classrooms, toilets, etc. to conform with Massachusetts Architectural Access Board codes, and the Federal Americans with Disabilities Act requirements at entrances
- d. Maintain the building structure to be compliant, safe, sound, historically correct in architectural detail, and aesthetically pleasing while administering educational programs for the community.
- e. Present annual capital needs cost estimates, including grounds upkeep and maintenance that will insure all physical needs are identified to address long-term capital repairs.
- f. LPBA recommends removing the exterior fire escapes, construct rated interior means of egress for the second floor and attic classrooms, complying with current building code standards.
- g. The RCC should find the means to introduce new-handicapped accessible elevator to access all floors, including the gym, in meeting current building code standards and provide access to users and visitors.
- h. Local building codes mandates building sprinklers be installed when building volume exceeds 7500SF and/or when renovation costs exceed 50% of the total asessed value of the building

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Conclusion

The Town should weight RCC for educational importance, in the services that the building provides to the Community, frequency of use, local historic landmark, and the physical contribution that the building makes to advance the educational process. There will be some buildings that have the greatest use and value to the Town. The renovation of the building and the costs necessary to maintain, should be reviewed at least once per year for Roudenbush's capital needs long term planning and upgrades of physical improvements.

SUPPLEMENT
ROUDENBUSH COMMUNITY CENTER

Optional Interior Improvement Recommendations

We were asked to provide simple Roudenbush Interior Improvements Cost Estimate that could be useful as Committee guide to plan for long term capital needs.

Roudenbush Community Center is long overdue on certain improvements and steps should be taken to accomplish renovations with consideration of new building code improvements. The building should be maintained safe for occupants, ADA accessible, and reasonably comfortable for educational programs to be performed.

Recommendations:

1. ADA accessibility including new 4-stop elevator.
2. ADA interior upgrades, such as, accessible hardware, minimum door widths, HP accessible toilets for boys/girls, and teachers.
3. Building Insulation added to exterior walls, savings in energy costs.
4. Rated doors and assemblies.
5. New Fire Sprinkler system and related work.
6. New branch electrical wiring, circuits, and lighting.
7. New fire alarm system.
8. Communications and technology upgrades.

Summary:

To comply with Massachusetts State Building Codes, and Massachusetts Architectural Access Board requirements, new four-stop elevator is currently required to provide access to all areas/rooms of the building. Building wall insulation upgrades are necessary to comply with new energy codes, and we suggest restoration of all interior finishes, including millwork, corridor and stair details, with new flooring for the third floor teaching art classrooms if some walls are opened for installation of building insulation.

LPBA strongly recommends removal of the slowly deteriorating exterior black iron fire escapes and construction of new code approved enclosed interior rated egress stairs for the second and third floors. The cost of this improvement is hard to estimate, and was not included in the LPBA Feasibility Study and Investigation Cost Estimate. When plans are known as to location of affected spaces in the interior or exterior areas, costs may be developed for construction budget purposes.

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You may be interested in having Handicapped Accessibility Survey performed for the Center. The survey would be very helpful to show what can be done to be compliant with ADA regulations including Massachusetts Architectural Access Board rules for feasibility, implementation, and cost estimates.

The Handicapped Accessibility Survey would provide Accessibility Upgrade Summary, Cost Estimates, and Priority Evaluations. There could be Key Plans, Survey Summary, Survey Forms, and Master Reference Details to arrive at capital needs projection costs.

Should the Center plan for building expansion of the current facility, most of the above HP access recommendations would be absorbed into renovation and new construction mandated by State Building Codes.

If further information is required or if you have any questions, you may call Ronald Alex at 617/782-9131.

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PHOTOGRAPHIC EXTERIOR EXISTING
CONDITIONS

Roudenbush Community Center
Westford, MA

**Roudenbush Community Center
Westford, MA**

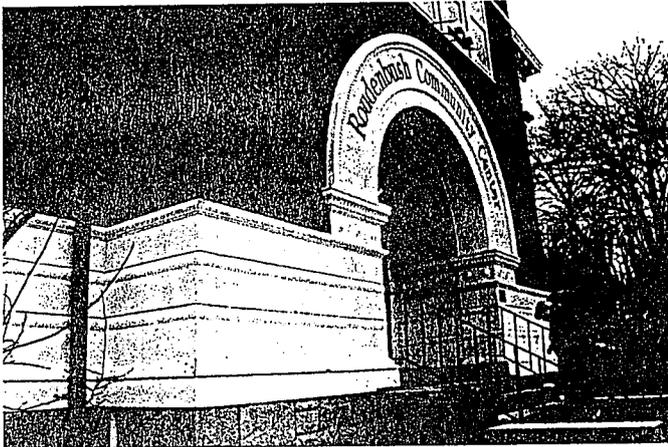


Photo Investigation NO. 1 @ Exterior Main Entrance



Photo Investigation NO. 2 @ Exterior Main Entrance Windows



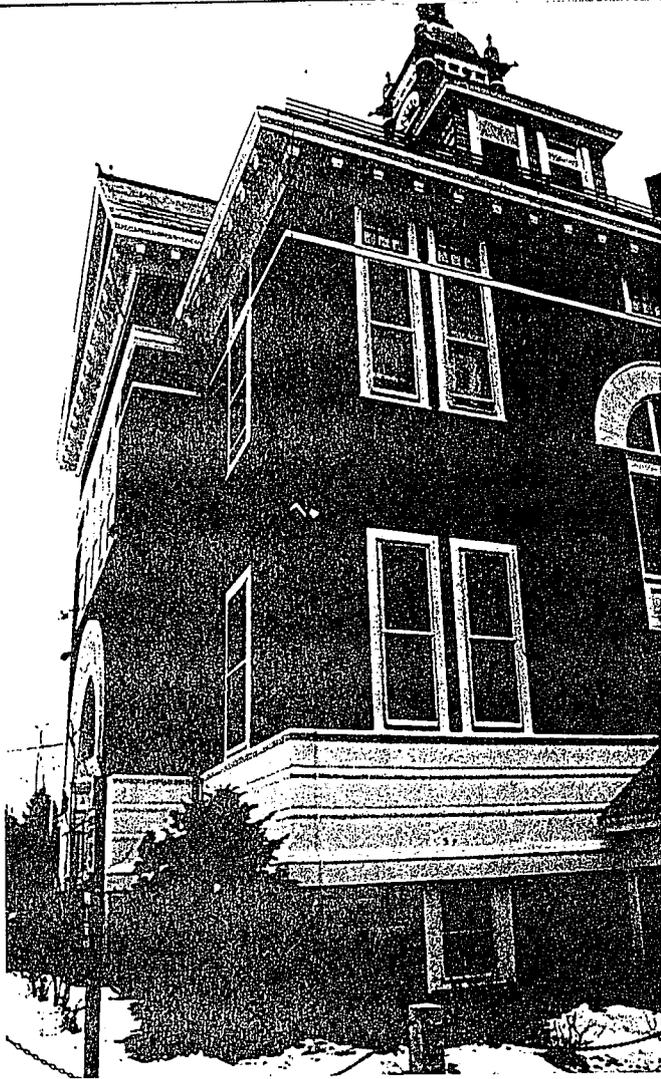
Photo Investigation NO. 3 @ Exterior Main Entrance

Existing Conditions

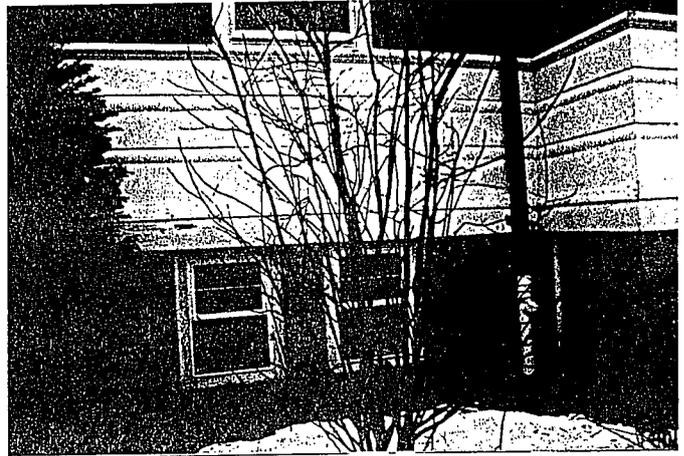
April 9, 2002

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**Roudenbush Community Center
Westford, MA**



**Photo Investigation NO. 4 @ Left Exterior
Facade**



**Photo Investigation NO. 5 @ Exterior
Basement Windows**



**Photo Investigation NO. 6 @ Exterior
Basement Masonry Sill**

**Roudenbush Community Center
Westford, MA**

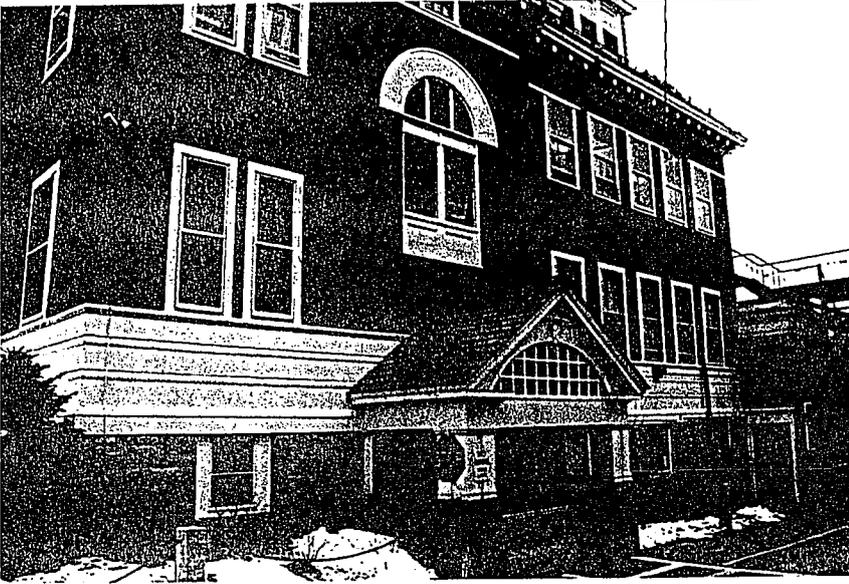


Photo Investigation NO. 7 @ Left Exterior Side Entrance

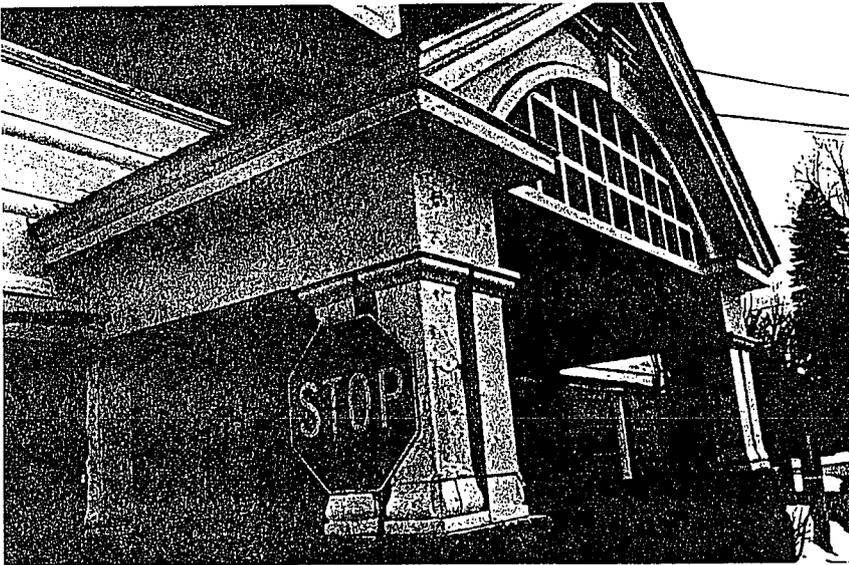


Photo Investigation NO. 8 @ Left Exterior Side Entrance

Existing Conditions

April 9, 2002

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Roudenbush Community Center
Westford, MA



Photo Investigation NO. 9 @ Gymnasium Window

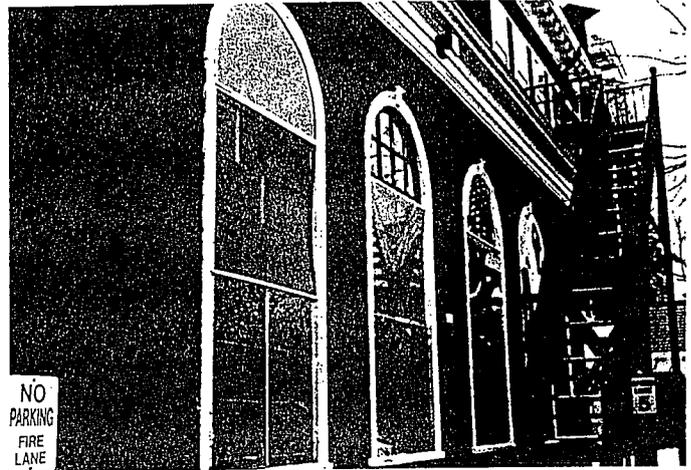


Photo Investigation NO. 10 @ Gymnasium Window

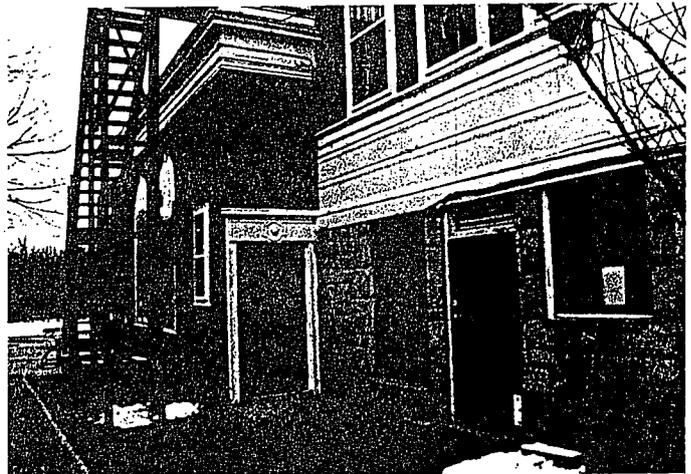


Photo Investigation NO. 11 @ Gymnasium Entrance

Roudenbush Community Center
Westford, MA

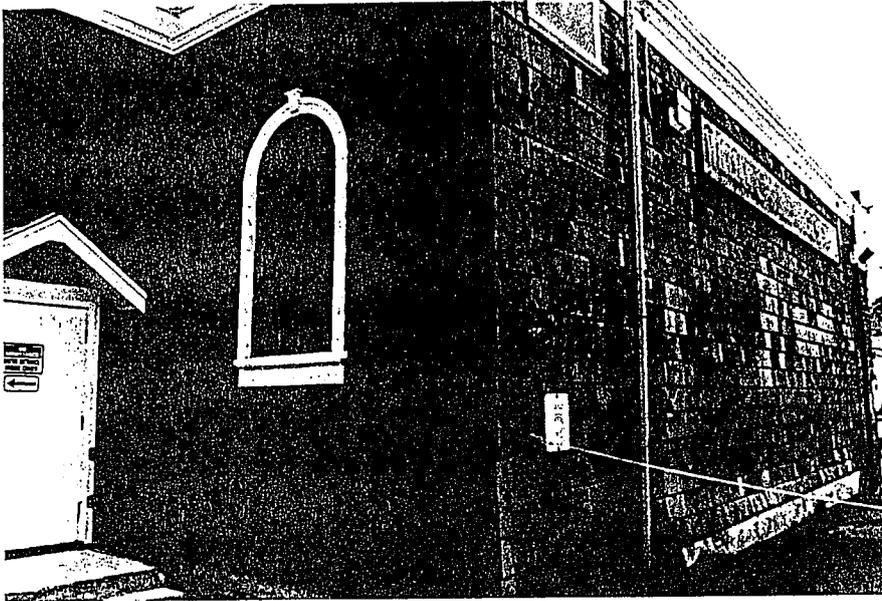


Photo Investigation NO. 12 @ Gymnasium

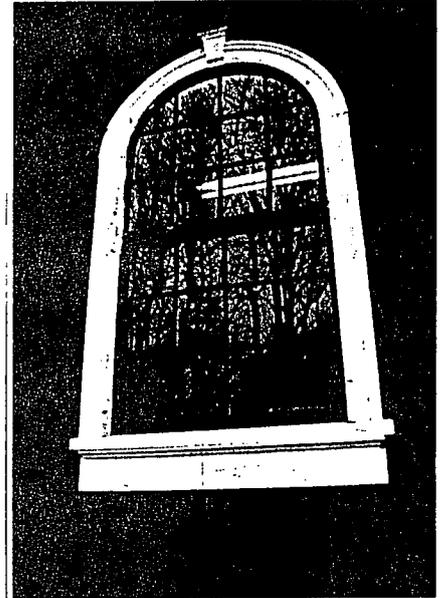


Photo Investigation NO. 13
@ Gym Window



Photo Investigation NO. 14
Gym Window Detail

**Roudenbush Community Center
Westford, MA**

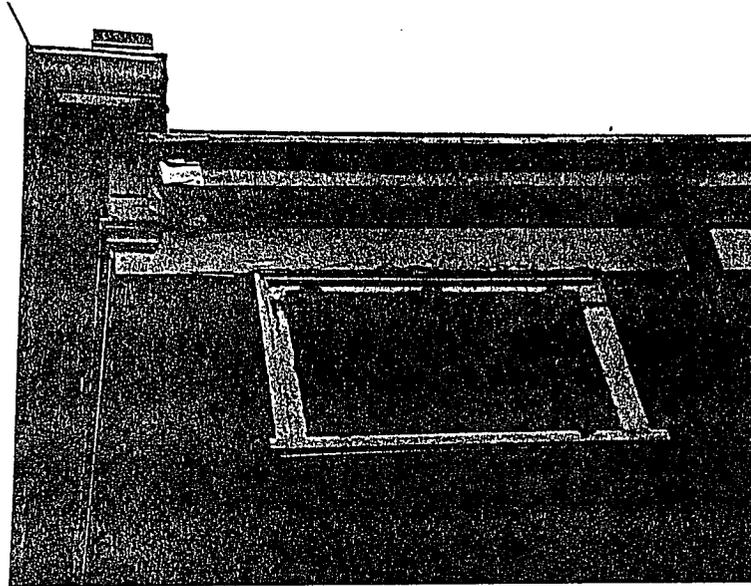


Photo Investigation NO. 15 @ Roof Gutter



Photo Investigation NO. 16 @ Roof Moldings/ Roof Fascia

Existing Conditions

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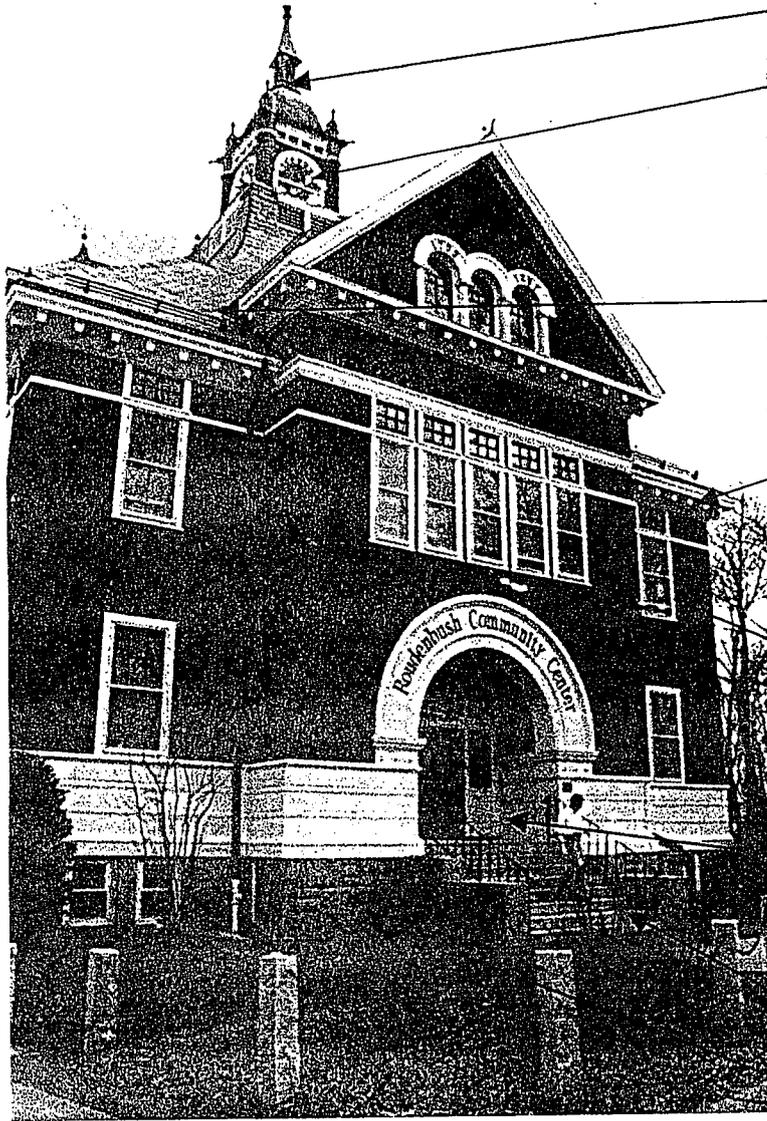
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EXTERIOR BUILDING INVESTIGATION

Roudenbush Community Center
Westford, MA

Roudenbush Community Center

Westford, MA



Copper cupola recently repaired.

Repair or replace to match existing
Deteriorated trim, replace shingles &
metal flashing on cupola with original
details. Prime and paint all surfaces to
match original historic stain colors.

New slate roof recently installed with
copper snow rails & metal ridge caps.
(Typical)

Scrape wood trim paint @ dentils, repair
wood as necessary, prime & paint with
with oil based paint. Apply sealants as
necessary at wood trim and windows,
dentils, etc.

All exterior windows to be replaced with
true divided insulated window glass,
replicating the original pattern & style
Remove all storm windows.

Repair or replace interior foyer wood trim
with new wood to match original. Add
automatic door control for handicapped
accessibility at main & side entrances.

Repoint granite steps with flexible joint
sealant. Color to match stone. Railings
do not meet MAAB handicapped codes

INVESTIGATION @ MAIN ENTRANCE

Roudenbush Community Center

Cut and remove exist deteriorated or
missing grout on entire foundation of
building.

Roudenbush Community Center

Westford, MA



Misc. metal & interior wood trim repairs recently completed on cupola.

New slate roof & copper metal vents completed in 2001.

Existing wood shingles, replace as necessary when found deteriorated.

New slate roof.

Existing wood banding & trim. Scrape and repaint with oil prime And two coats of latex finish.

INVESTIGATION @ EAST ELEVATION

Roudenbush Community Center



Remove existing old deteriorated windows with match of historical double pane glass, with low E value. Remove storm windows.

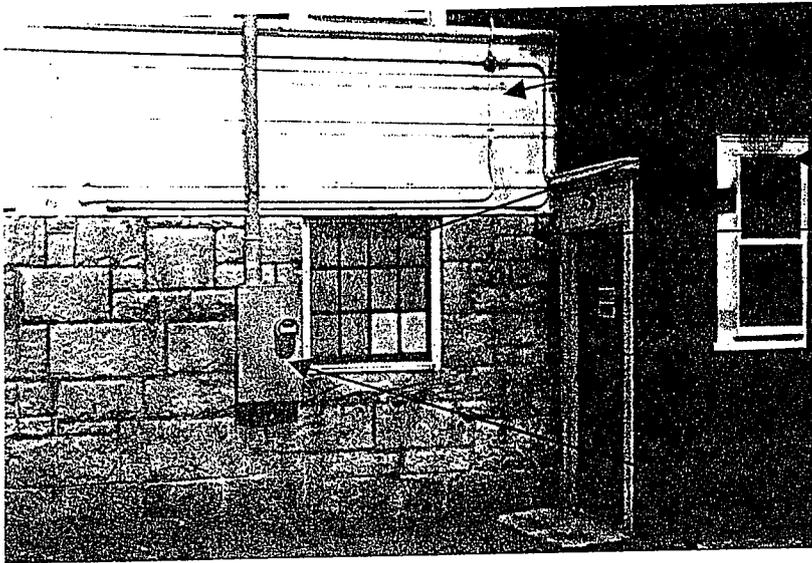
Cut and repoint selective stone joints

INVESTIGATION @ NORTH ELEVATION

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



Wood trim banding.

Old deteriorated window.

Storm window to be removed.

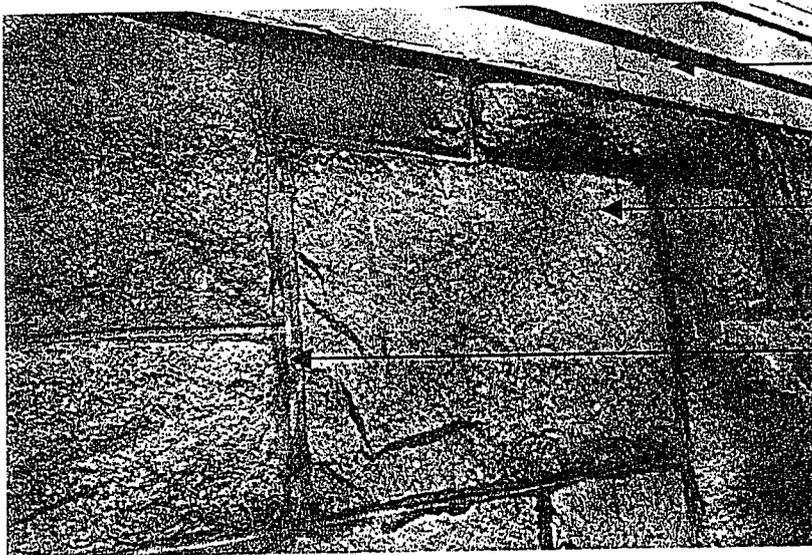
Cut and repoint granite to match existing colors & texture.

Old door, not HP accessible, replace with new to match original raised panel wood door with appropriate Hp hardware.

Exterior electrical panel, consider burying overhead electrical lines to maintain original appearance of the building.

INVESTIGATION @ MASONRY WALL

Roudenbush Community Center



Deteriorated wood trim.

Random pattern granite stone size found on the perimeter of the building.

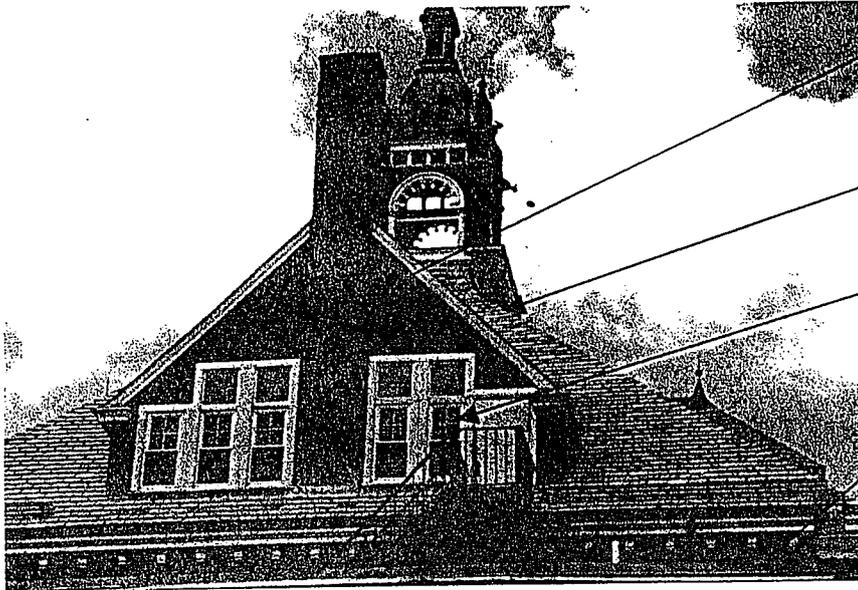
Detail of mortar with recessed mortar using tooled joints.

INVESTIGATION @ MASONRY WALL

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



Replace old shingles with new #1 cedar and stain to match original color.

Recently installed existing slate roof.

New insulated windows and trim to replace old leaky single pane wood windows.

Repair of dentils and cornice moldings as necessary to prevent Wood rot and water damage.

INVESTIGATION @ WEST ELEVATION

Roudenbush Community Center



Recently installed existing slate roof.

Replace rotted wood gutter face with new half cornice molding. Re-attach new metal gutter and rain leaders

New insulated windows and trim to replace old leaky single pane wood windows.

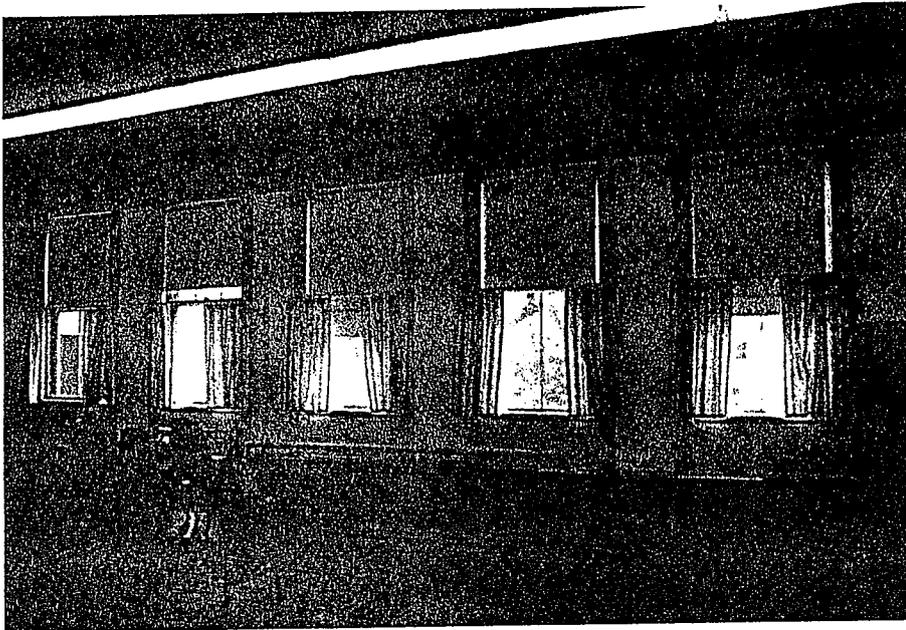
Replace old shingles with new #1 cedar and stain to match original color.

INVESTIGATION @ SOUTH ELEVATION

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



Existing double hung windows wood sash and casings. Glass is single pane. Wood stops should be tested for hazardous materials and new metal double hung windows are recommended.

INVESTIGATION @ INTERIOR WINDOWS

Roudenbush Community Center



Replace old leaky single pane wood Windows with New insulated windows and trim to match exist.

Existing wood casing and trim.

INVESTIGATION @ INTERIOR WINDOW SILL

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



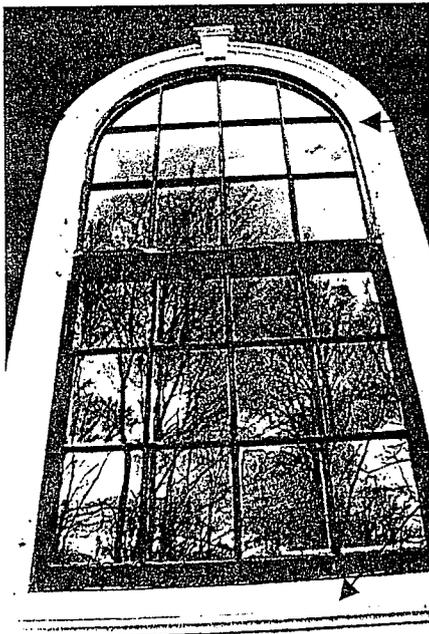
Replace single pane wood window with new trim, use divided light windows.

Remove all exterior mounted wires from building & redirect to the exterior.

Door closer mounted on incorrect side of door. Subject to weather.

INVESTIGATION @ SOUTH SIDE ENTRANCE

Roudenbush Community Center



Replace exterior wood trim and window Sash. Frame with new wood trim with divided true lights @ gymnasium and main building.

Replace deteriorated wood sill to match Existing sill with copper flashing as required.

INVESTIGATION @ GYM WINDOW

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



New copper rain leaders installed.

New metal ventilators installed.

Repair wood cornice & wood structural systems as necessary.

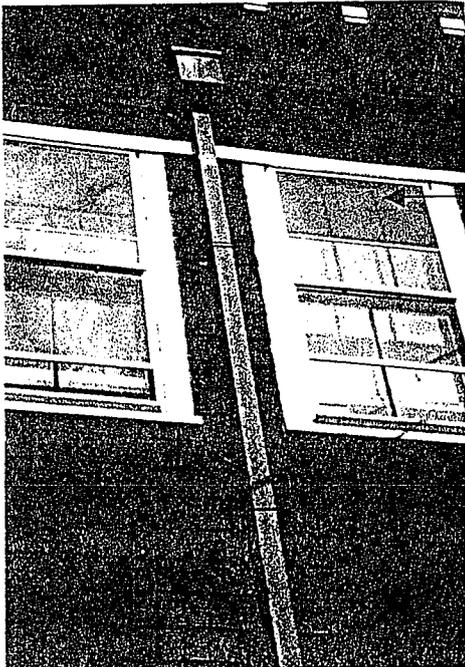
Replace deteriorated wood gutters cornice with new moldings to match original.

Wood trim window repairs.

Scrape and paint all wood trim.

INVESTIGATION @ ROOF DENTILS

Roudenbush Community Center



Replace existing single pane glass wood windows with new U.44 true divided insulated glass windows.

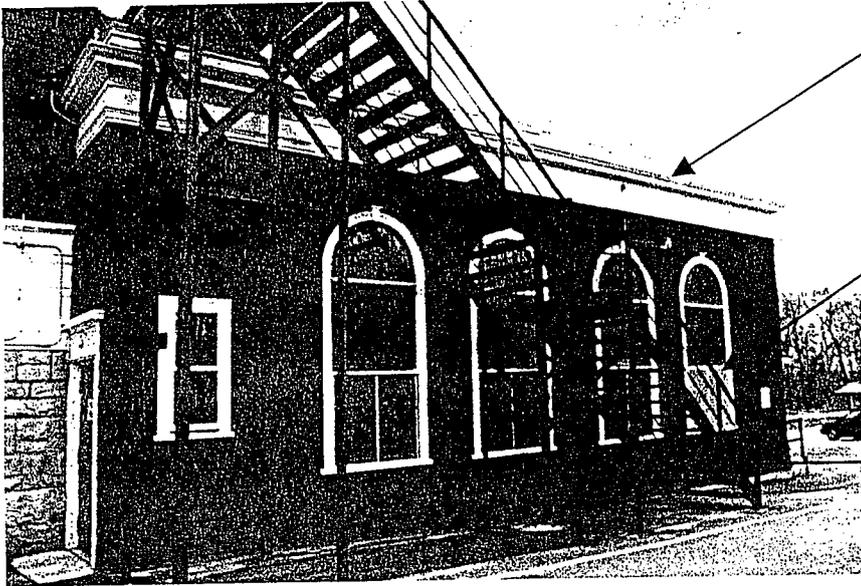
Replace deteriorated wood shingles with #1 cedar, paint with stain to match original colors.

INVESTIGATION @ GUTTER

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



Remove all paint and repair deteriorated wood trim. Apply prime oil with two coats of finish oil paint. Apply sealants as necessary.

New insulated windows and trim to replace old leaky single pane wood windows and cracked or missing wood trim.

Wire brush to bare metal and remove rust & re-paint existing fire escapes.

INVESTIGATION @ GYMNASIUM (NORTH ELEVATION)

Roudenbush Community Center



Replace old leaky single pane wood windows with new insulated windows and trim to match existing.

Replace old deteriorated shingles with replacement #1 wood cedar shingles. Paint with stain to match original colors.

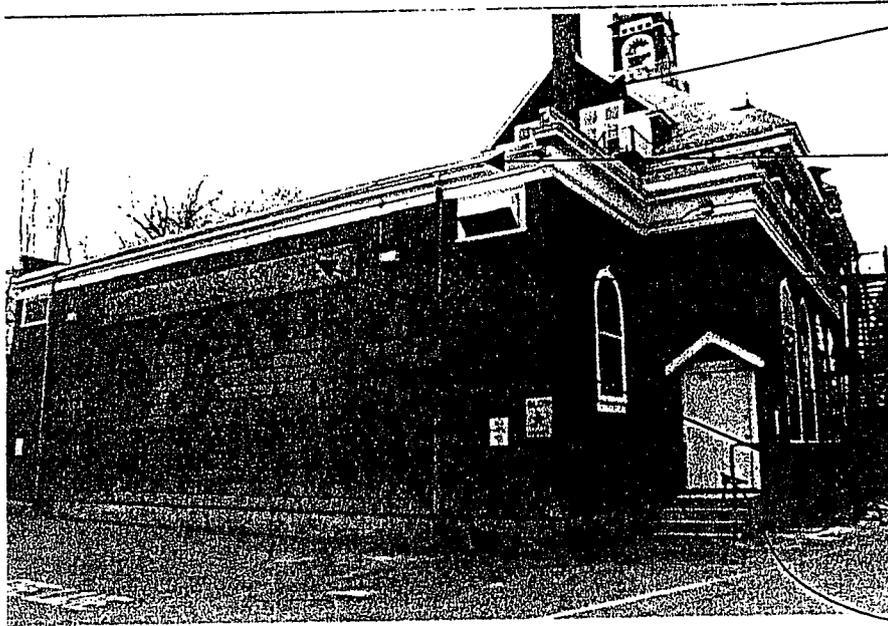
Full paint removal for existing wood trim. Sand, repair or replace deteriorated wood as necessary to match existing trim.

INVESTIGATION @ SOUTH ELEVATION

Roudenbush Community Center

Roudenbush Community Center

Westford, MA



Replace old deck with new deck, fence guard, metal cap & roof (Hidden in Photo).

New gutter and wood trim recommended.

Replace old deteriorated shingles With replacement #1 wood cedar shingles.

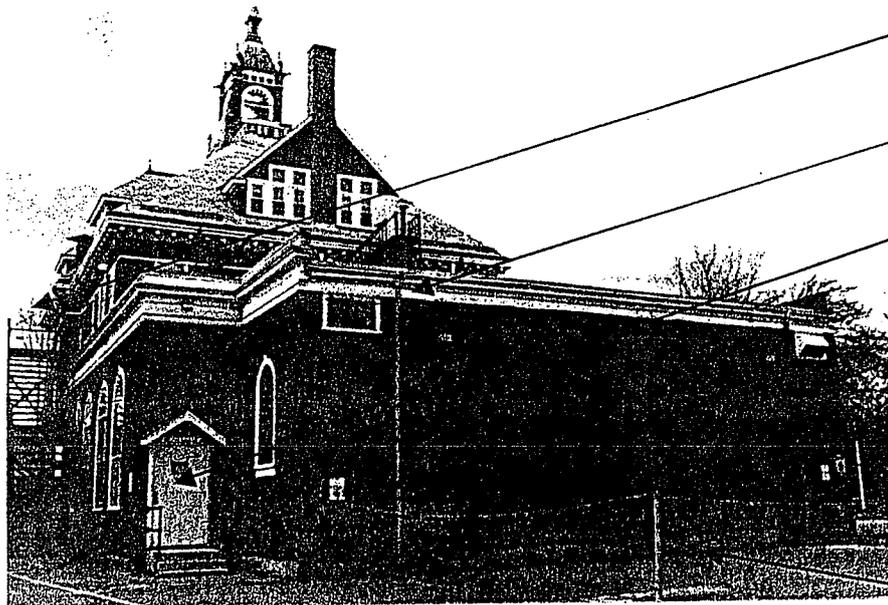
Wire brush & repaint existing fire escapes.

Original school sign in need of painting.

INVESTIGATION @ GYMNASIUM SIDING

Roudenbush Community Center

(Right Side)



Wire brush & repaint existing fire escapes.

New gutter and wood trim recommended.

Egress door does not meet HP door code.

Replace old deteriorated shingles with replacement #1 wood cedar shingles.

Repair of concrete gym foundation wall.

Suggest capping lands to soften hard paving edge to building.

sun is fully exposed
LANDING

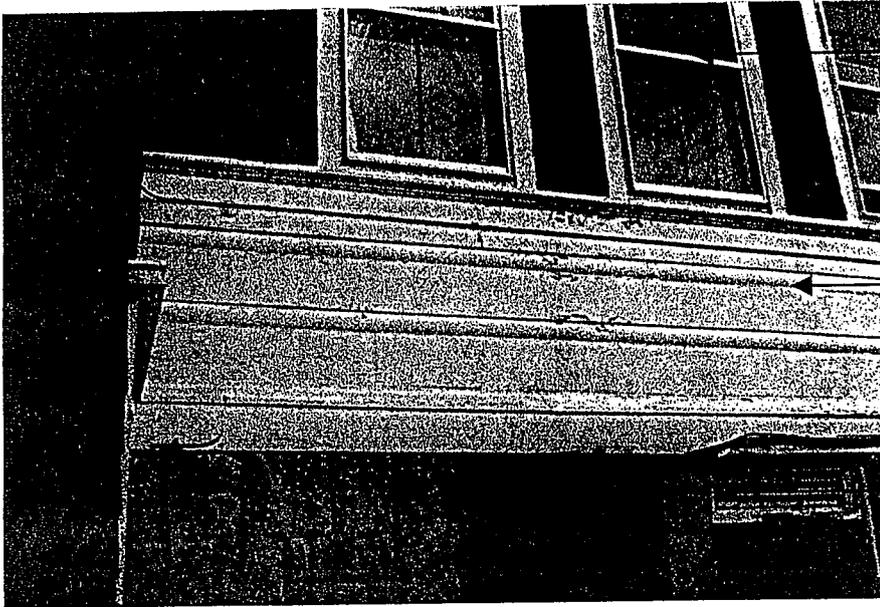
INVESTIGATION @ GYMNASIUM SIDING

Roudenbush Community Center

(Left Side)

Roudenbush Community Center

Westford, MA



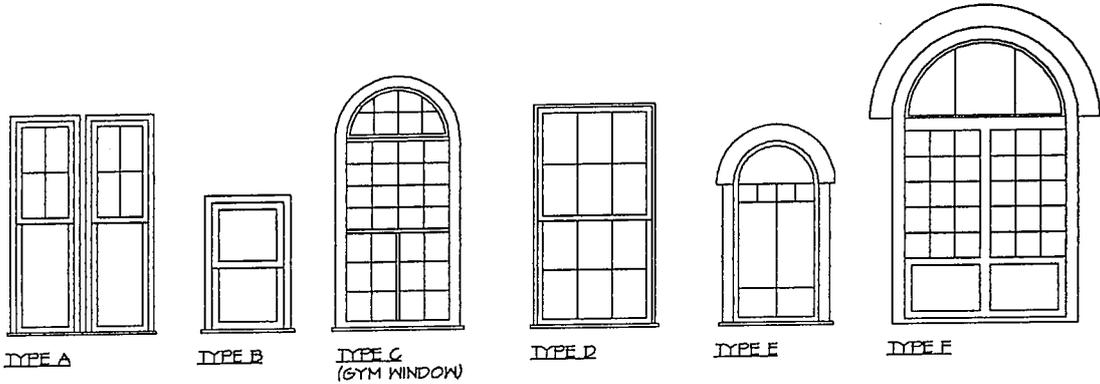
All exterior windows to be replaced with true divided insulated window glass. Remove all storm windows.

Remove all paint from repaired wood and apply prime oil & two coats finish latex paint.

Cut and remove exist deteriorated or missing mortar at various locations.

INVESTIGATION @ WOOD TRIM BAND

Roudenbush Community Center



TYPE A

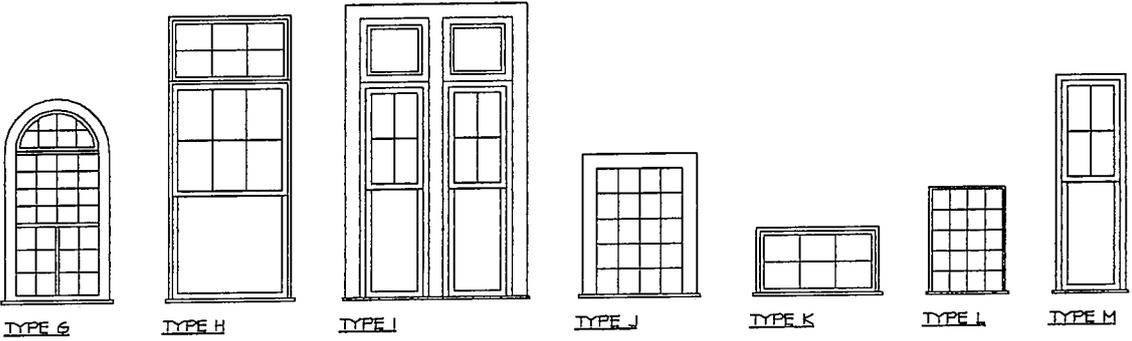
TYPE B

TYPE C
(GYM WINDOW)

TYPE D

TYPE E

TYPE F



TYPE G

TYPE H

TYPE I

TYPE J

TYPE K

TYPE L

TYPE M

WINDOW SCHEDULE

WINDOW TYPE	NO. OF WINDOWS
TYPE A	2 WINDOWS
TYPE B	16 WINDOWS
TYPE C	8 WINDOWS
TYPE D	24 WINDOWS
TYPE E	3 WINDOWS
TYPE F	2 WINDOWS
TYPE G	2 WINDOWS
TYPE H	13 WINDOWS
TYPE I	4 WINDOWS
TYPE J	2 WINDOWS
TYPE K	4 WINDOWS
TYPE L	1 WINDOW
TYPE M	4 WINDOWS

TYPICAL WINDOW TYPES

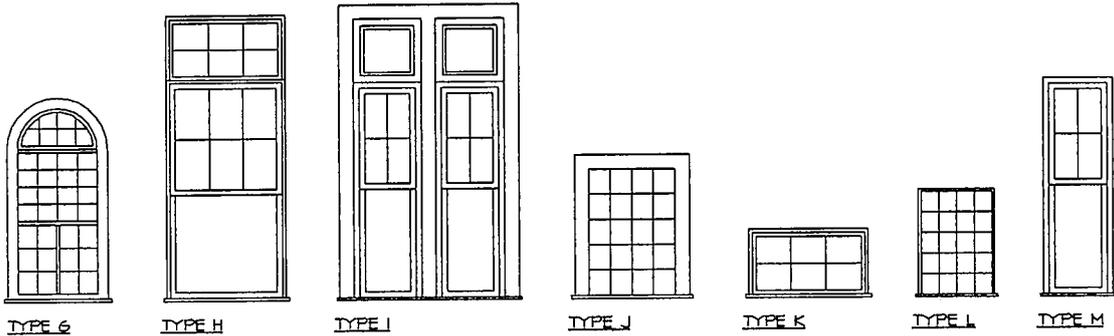
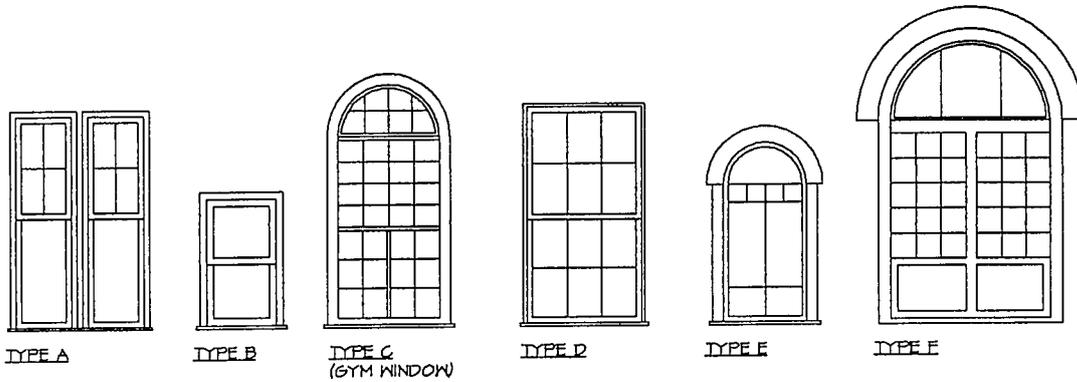
PROJECT: ROUDENBUSH COMMUNITY CENTER FEASIBILITY STUDY	ROUDENBUSH COMMUNITY CENTER 65 MAIN STREET WESTFORD, MA	DATE: 5/10/02
DRAWING TITLE: WINDOW ELEVATIONS & SCHEDULE	LPBA Architects, Inc. 28 Penniman Road TEL: 617/782-9131 Boston MA 02134 FAX: 617/782-9141	SHEET 1 OF 1

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**EXISTING DRAWINGS
(FOR ARCHIVES)**

Roudenbush Community Center
Westford, MA

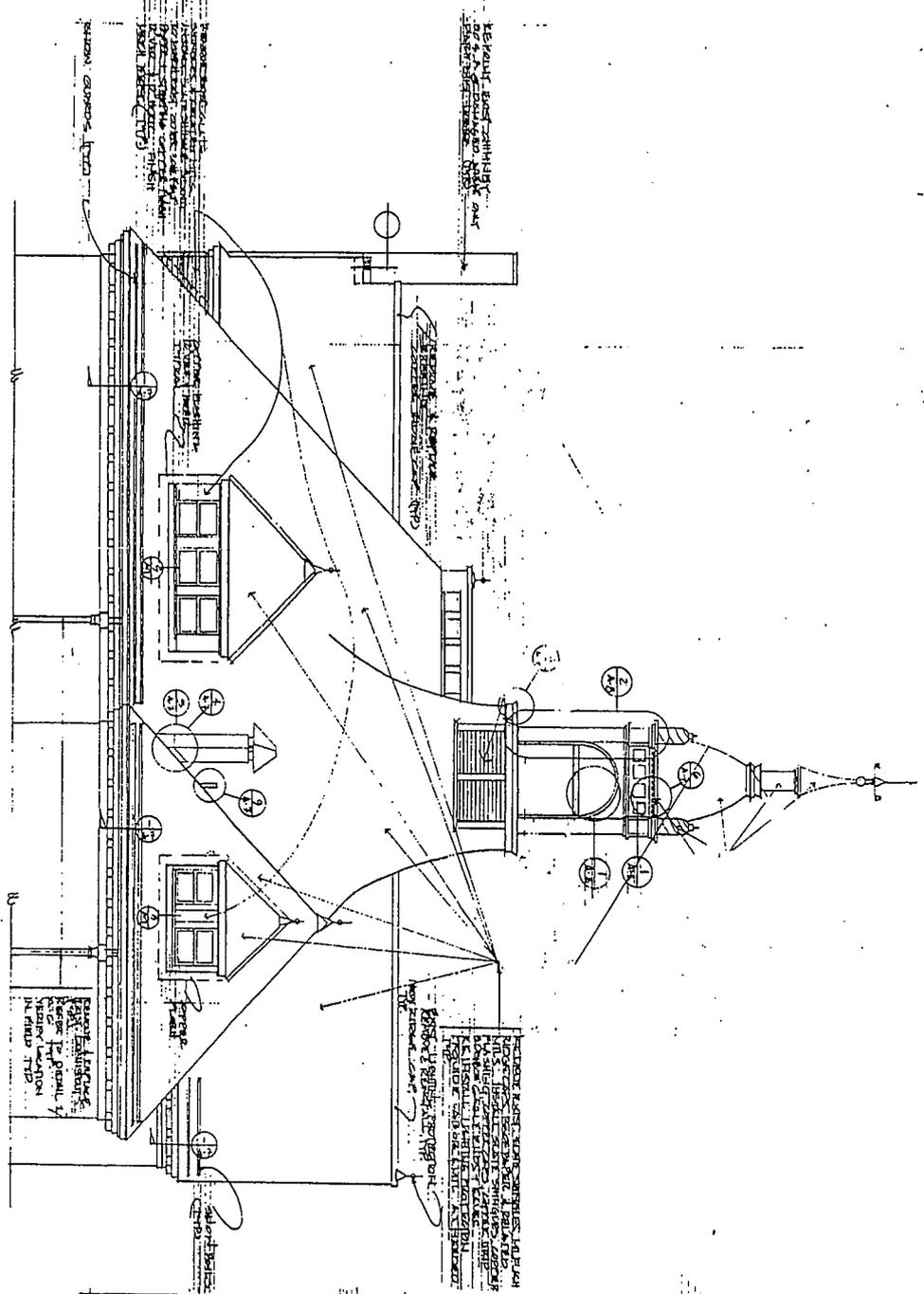


WINDOW SCHEDULE

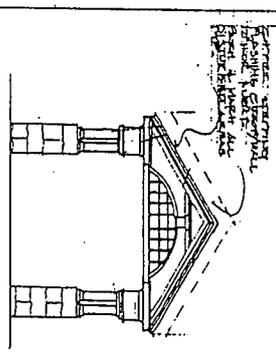
WINDOW TYPE	NO. OF WINDOWS
TYPE A	2 WINDOWS
TYPE B	16 WINDOWS
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TYPE F	2 WINDOWS
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TYPE H	13 WINDOWS
TYPE I	4 WINDOWS
TYPE J	2 WINDOWS
TYPE K	4 WINDOWS
TYPE L	1 WINDOW
TYPE M	4 WINDOWS

TYPICAL WINDOW TYPES

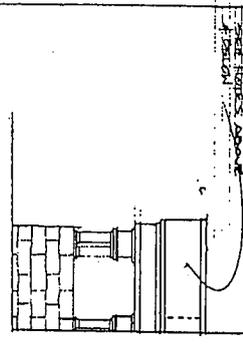
PROJECT: ROUDENBUSH COMMUNITY CENTER FEASIBILITY STUDY	ROUDENBUSH COMMUNITY CENTER 65 MAIN STREET WESTFORD, MA	DATE: 5/10/02
DRAWING TITLE: WINDOW ELEVATIONS & SCHEDULE		
LPBA Architects, Inc. 28 Penniman Road TEL: 617/782-9131 Boston MA 02134 FAX: 617/782-9141		SHEET 1 OF 1



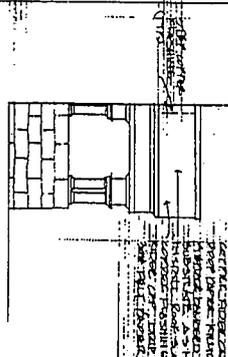
SOUTH SIDE ELEVATION (EXISTING)
Scale: 1/4" = 1'-0"



FRONT ELEVATION OF LEFT ENTRY
Scale: 1/4" = 1'-0"



SIDE ELEVATION OF LEFT ENTRY
Scale: 1/4" = 1'-0"



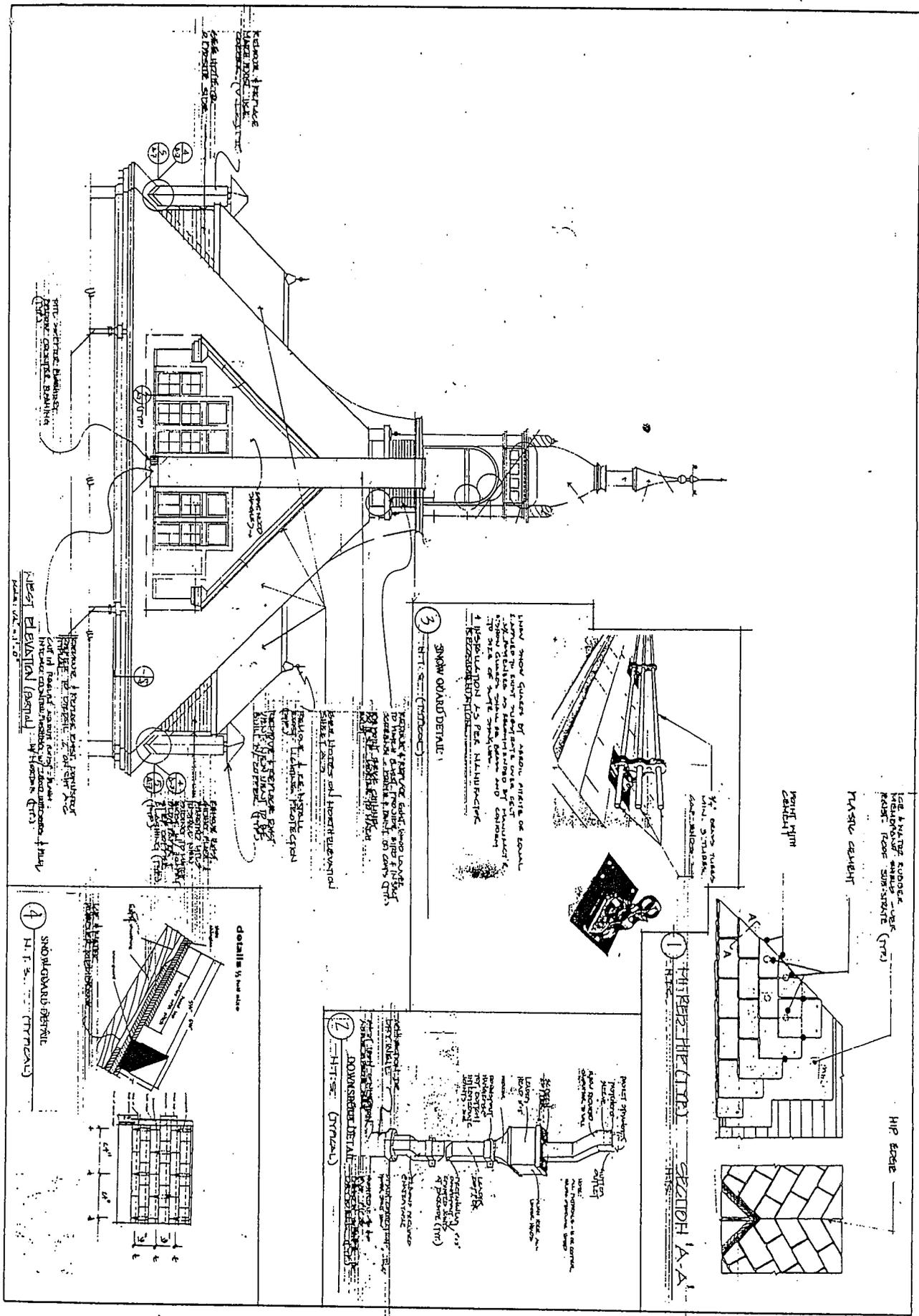
ALTERNATIVE ONE
Scale: 1/4" = 1'-0"

A4

Left Elevation & Left Entry Elevations, Ground Level

October 20, 1999

Roof Replacement
Roudenbush Community Center
65 Main Street, Westford, MA.
LPBA/ARCHITECTS, INC.
28 PENNINGMAN, BOSTON MA 02134
TEL: 617-782-9131 FAX: 617-782-9141 E MAIL: lpba@gia.net



Architecture 28 Penniman Road
Planning Boston
Interiors Massachusetts 02134
Construction FAX 617/782/9141
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LPBA/ Architects, Inc.

COST ESTIMATE
BUILDING ENVELOPE EXTERIOR
With Historic Preservation

Roudenbush Community Center
Westford, MA

Roudenbush Community Center			
Feasibility Study & Investigation			
BUILDING ENVELOPE - EXTERIOR			
with Historic Preservation			
	AREA/ QUANTIT SF/ LF	UNIT COST Labor & Materials	COST
DIVISION 1 - GENERAL REQUIREMENTS			
ESTIMATED COSTS OF CONSTRUCTION			
Mobilization & Insurance (3%)	0.03		\$ 13,437.63
DIVISION 2 - SITEWORK & DEMOLITION			
Remove existing windows & site prep	40	\$86.00	\$ 3,440.00
New masonry stair landings comply with Codes	2	\$8,600.00	\$ 17,200.00
Relocate electrical panel overhead wires (option)	1	0 -\$20.00	0 -\$20.00
Dumpsters	6	\$575.00	\$ 3,450.00
Rough/Finish grading and fill	1	\$3,400.00	\$ 3,400.00
Removal of wall mounted exterior lighting & conduit	3	\$60.00	\$ 180.00
Scaffolding	1	\$22,000.00	\$ 22,000.00
Clean exterior masonry	1050	\$6.50	\$ 6,825.00
DIVISION 3 - CONCRETE			
Stair landing footings	2	\$3,800.00	\$ 7,600.00
Exterior vest. Grade beam	2	\$1,900.00	\$ 3,800.00
base/ details	2	\$1,600.00	\$ 3,200.00
	0	\$0.00	\$ -
	0	\$0.00	\$ -
DIVISION 4 - MASONRY			
Masonry Restoration, repoint brick, var. locations	1	\$1,500.00	\$ 1,500.00
Scaffolding - Main Building	1	\$2,000.00	\$ 2,000.00
Reset stone entrance steps -repoint at main ent.	1	\$6,400.00	\$ 6,400.00
DIVISION 5 - METALS			
Stair railings	allowance		\$ 7,600.00
Historical main entrance railings/ HP access.	allowance		\$ 12,700.00
Metal pan & fence guard @ cupola	1	\$6,400.00	\$ 6,400.00
Metal flashings @ 3 1/2 fl deck roof	1	\$6,400.00	\$ 6,400.00
Misc metals for 3 1/2 deck roof	1	\$2,600.00	\$ 2,600.00
Metal roof under cupola	1	\$16,700.00	\$ 16,700.00
Gutter, Scuppers, and Accessories	1	\$980.00	\$ 980.00
DIVISION 6 - WOOD & PLASTICS			
3 1/2 dck roof plywood and materials	1	\$4,600.00	\$ 4,600.00
New exterior railing system to match existing (3 1/2De	1	\$17,300.00	\$ 17,300.00
Rough carpentry	1	\$2,000.00	\$ 2,000.00
Finish carpentry	1	\$6,500.00	\$ 6,500.00
Repairs of wood cornice & moulding below gutters	140	\$121	\$ 16,940.00

Replacement wood shingles	3600	\$5.50	\$	19,800.00
Repairs of wood window trim	allowance	\$6,000.00	\$	6,000.00
DIVISION 7 - THERM/MOIST PROTECT.				
Vapor barrier @ 3 1/2 Deck Roof		\$425.00	\$	425.00
batt + 2.5 " window casing infil	1	\$1,700.00	\$	1,700.00
Fascia edge	10	\$12.50	\$	125.00
Waterproofing, damproofing, caulking	750	\$19.00	\$	14,250.00
Replacement metal gutter at gym	48	\$27.00	\$	1,296.00
DIVISION 8 - DOORS AND WINDOWS				
Replacement 6 panel mahog.wood @Gym	4	\$2,300.00	\$	9,200.00
Replacement True-divided Light Windows-U=.44- (SF)	2	\$1,455.00	\$	2,910.00
Replacement windows at Gym	12	\$2,400.00	\$	28,800.00
Replacement windows at Main Bldg/ West Rear	6	\$350.00	\$	2,100.00
Replacement windows at Main Bldg./ East Elev.	19	\$1,600.00	\$	30,400.00
Replacement windows at Main Bldg./ North Elev.	22	\$1,600.00	\$	35,200.00
Replacement windows at Main Bldg./ South Elev.	22	\$1,600.00	\$	35,200.00
Main entrance doors & panels restored	1	\$5,500.00	\$	5,500.00
Leaded Glass repair+A29	allowance		\$	4,500.00
DIVISION 9 - FINISHES				
Repaint/ restore sign	1	\$2,400.00	\$	2,400.00
Interior painting at entrance foyers (SF)	800	\$2.75	\$	2,200.00
Exterior painting- @ cupola	1	\$1,600.00	\$	1,600.00
Scrape, prime/ sand historical wood trim, paint	1	\$19,700.00	\$	19,700.00
Painting of wood cornice and dentils/ LF	560	\$12.25	\$	6,860.00
Painting/staining wood shingles/ SF	4300	\$2.60	\$	11,180.00
Complete paint removal at select locations	800	\$12.25	\$	9,800.00
DIVISION 10 - SPECIALTIES				
N/A			\$	-
DIVISION 11 - EQUIPMENT				
N/A			\$	-
DIVISION 12 - FURNISHINGS				
N/A			\$	-
DIVISION 13 - SPECIAL CONSTRUCTION				
N/A			\$	-
DIVISION 14 - CONVEYING SYSTEMS				
N/A			\$	-
DIVISION 15 - MECHANICAL				
			\$	-

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SUPPLEMENT:

COST ESTIMATE
INTERIOR IMPROVEMENTS RECOMMENDATION

Roudenbush Community Center
Westford, MA

DIVISION 12 - FURNISHINGS			
N/A			\$ -
DIVISION 13 - SPECIAL CONSTRUCTION			
N/A			\$ -
DIVISION 14 - CONVEYING SYSTEMS			
New 4 stop ADA elevator -filed subbid	1		\$ 86,000.00
DIVISION 15 - MECHANICAL			
New water coolers Hi/Low for HP access	1	\$3,500.00	\$ 3,500.00
New 6" water service from street	1	\$21,000.00	\$ 21,000.00
New Building Fire Sprinkler system	1	\$78,000.00	\$ 78,000.00
Fire Protection/Standpipes (sitework)	1	\$52,000.00	\$ 52,000.00
DIVISION 16 - ELECTRICAL			
New wiring and circuits	1	\$46,000.00	\$ 46,000.00
Electrical connections underground	1	\$1,200.00	\$ 1,200.00
Fire Alarms strobe (inc.wall patching)	1	\$16,000.00	\$ 16,000.00
Public telephone (HP access)	1	\$600.00	\$ 600.00
New Lighting	1	\$24,600.00	\$ 24,600.00
SUBTOTAL			\$ 552,350.00
Plus 10 Percent Contractor Overhead & General Conditio	10%		\$ 55,235.00
Plus 10 Percent Contractor Profit	10%		\$55,235.00
TOTAL Estimated Construction Cost			\$ 662,820.00
Plus 15% Percent Owner Contingency	15%		\$99,423.00
TOTAL Estimated Construction Cost w/ contingency			\$ 762,243.00
Plus Architectural & Engineering Fee (negotiated)	x%		\$0.00

